



REPORT

To: Chair and Directors

Date: March 17, 2020

From: Tyra Henderson, Corporate Officer

Subject: **Development Variance Permit, PRRD File No. 20-001 DVP**

RECOMMENDATION: [Corporate Unweighted]

That the Regional Board authorize Development Variance Permit No. 20-001, for the property identified as PID 013-013-742, to reduce the rear yard setback from 5 m to 3 m within PRRD Zoning Bylaw No. 1343, 2001.

BACKGROUND/RATIONALE:

Proposal

To reduce the subject property's rear yard setback from 5 m (17 ft) to 3 m (10 ft) within PRRD Zoning Bylaw No. 1343, 2001, to accommodate siting of a proposed attached garage for solar access for the dwelling unit.

File Details

Owners: Jayson and Kara Strate
Area: Electoral Area C
Location: Fort St John
Legal: Lot 1 Block 6 Section 7 Township 84 Range 18 W6M Peace River District Plan 8871
PID: 013-013-742
Civic Address: 9346 120 Avenue
Lot Size: 0.30 ha (0.73 ac)

Site Context

The subject property is adjacent to the City of Fort St John's boundaries, on the northern edge of the city. Residential uses surround the property to the north, east, and south. Fish Creek and a public park within Fort St. John surround the property to the west.

Site Features

Land

Based on information from the applicants and aerial photos, the subject property is residential, vacant and tree-covered, with some area cleared.

Structures

The subject property is currently vacant. The applicant intends to have a single-family house and an attached garage on the property.

Access

The subject property is accessed via 120 Avenue.

CLI Soil Rating

The subject property has a soil rating of 2_c. Class 2 soils have moderate limitations that restrict a range of crops or require moderate conservation practices. Subclass C denotes adverse climate.

Comments & Observations**Applicant**

The applicant intends to build a Passive Home with an attached garage, with solar access.

Agricultural Land Reserve (ALR)

The subject property is outside the ALR.

Official Community Plan (OCP)

The subject property is designated High Density Residential (HDR), pursuant to the PRRD North Peace Fringe Area Official Community Plan Bylaw No. 1870, 2009 (NPFA OCP). The NPFA OCP does not address setbacks.

Land Use Zoning

Pursuant to the PRRD Zoning Bylaw No. 1343, 2001 (zoning bylaw), the subject property is zoned R-3 (Residential 3 Zone). Section 36.2 (g) states that in the R-3 zone, no principal building or structure shall be located within 5 m of a rear parcel line. The proposed structure is located within 5 m of the rear parcel line. Therefore, this Development Variance Permit is required.

Fire Protection Area

The subject property is within the Fort St John Rural Fire Protection Area.

Mandatory Building Permit Area

The subject property is within the Mandatory Building Permit Area.

Development Permit Areas

The subject property is outside all Development Permit Areas.

Development Cost Charge Area

The subject property is outside the Development Cost Charge Area.

School District 60 School Site Acquisition Area

The subject property is within the School District 60 School Site Acquisition Charge Area. The School District 60 School Site Acquisition Charge is to be paid when the applicant pursues a PRRD Building Permit.

Impact Analysis**Context**

The proposed structure would have the greatest impact on the parcel immediately north of the subject property, where the reduced setback is proposed.

Population & Traffic

The property is currently vacant, so construction of a residential dwelling unit will increase the population and traffic in the area. The approval of a setback variance will not impact population or traffic.

Sewage & Water

The applicants intend to use a holding tank for sewage disposal, and a holding tank for water supply.

Comments Received from Municipalities & Provincial Agencies**City of Fort St John**

No comments.

MoTI

No objections.

Northern Health

No objections subject to the following conditions:

- the applicants must not cause a health hazard during construction or demolition activities;
- the proposed dwelling unit must be connected to permitted sewer and drinking water systems;
- the applicants must obtain permit(s) for Drinking Water System(s) if building their own water system other than the City of Fort St John; and
- the applicants must obtain permit(s) or approval from Northern Health if dwelling unit intended for opening a home based business such as a Personal Service or preparation and sale food.

Comments Received from the Public

Public notification was completed in accordance with *Local Government Act* Section 499. The notices indicated that the DVP was to be considered at the March 26th meeting, in Tumbler Ridge. When the meeting location was changed, an updated notice was sent property owners in the notification area, and the Engage page for this file was updated. Notice regarding the meeting location change was posted to the PRRD website as well. No comments were received upon finalization of this report. Any comments received after report finalization, but before the Regional Board considers the application, will be reported verbally.

ALTERNATIVE OPTIONS:

1. That the Regional Board respectfully refuse Development Variance Permit No. 20-001, for the property identified as PID 013-013-742, to reduce the rear yard setback from 5 m to 3 m within PRRD Zoning Bylaw No. 1343, 2001, as submitted.
2. That the Regional Board provide further direction.

STRATEGIC PLAN RELEVANCE:

- Not Applicable to Strategic Plan.

FINANCIAL CONSIDERATION(S):

None at this time.

COMMUNICATIONS CONSIDERATION(S):

The Regional Board’s decision will be communicated to the applicant.

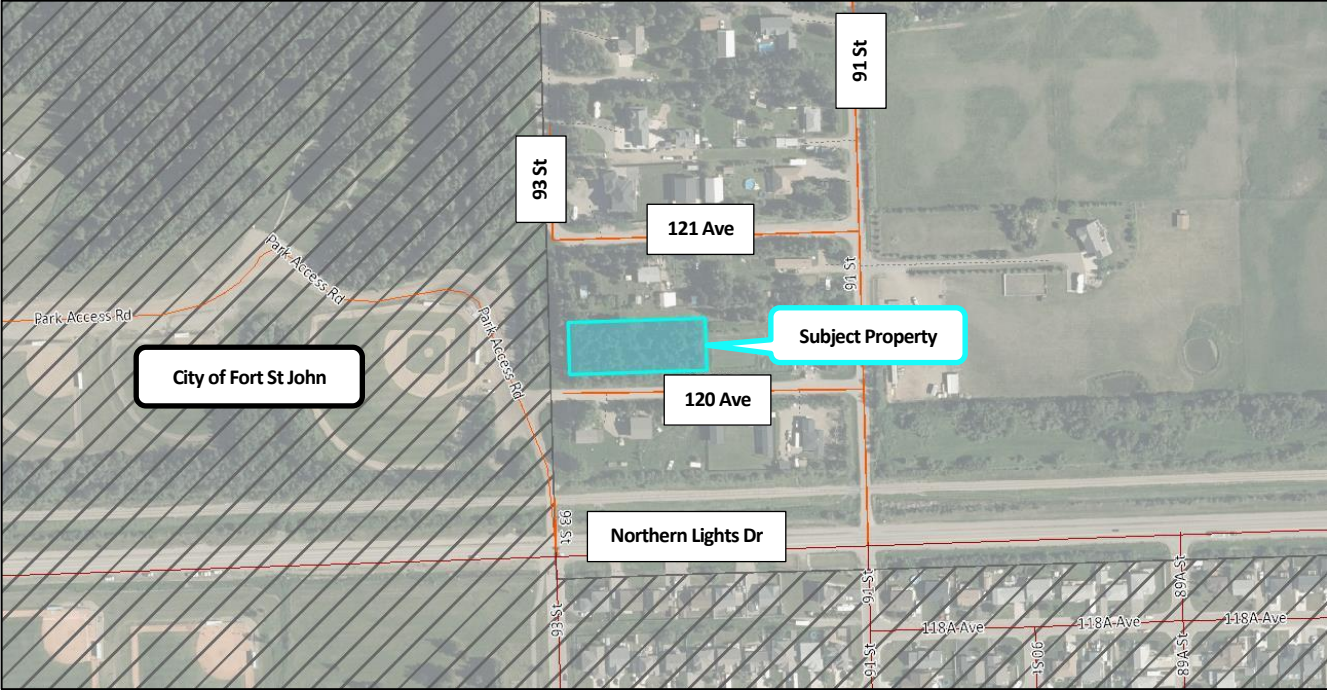
OTHER CONSIDERATION(S):

None at this time.

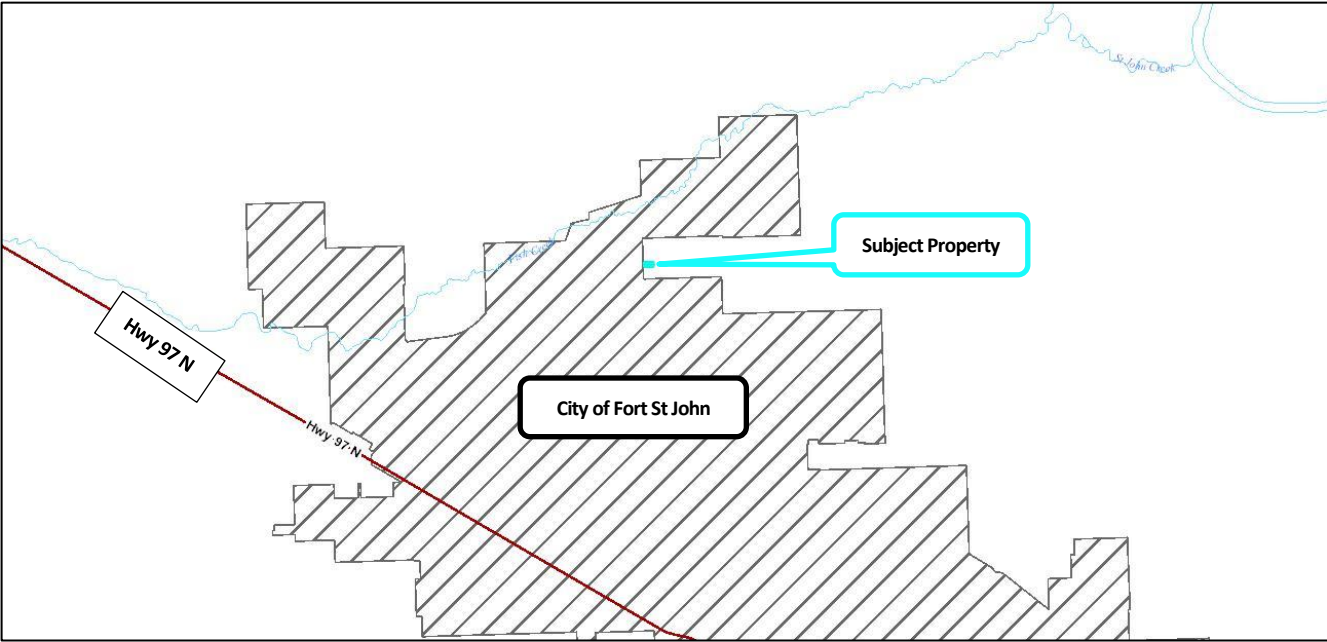
Attachments:

1. Maps
2. Application
3. Referral responses from agencies
4. Development Variance Permit No. 20-001

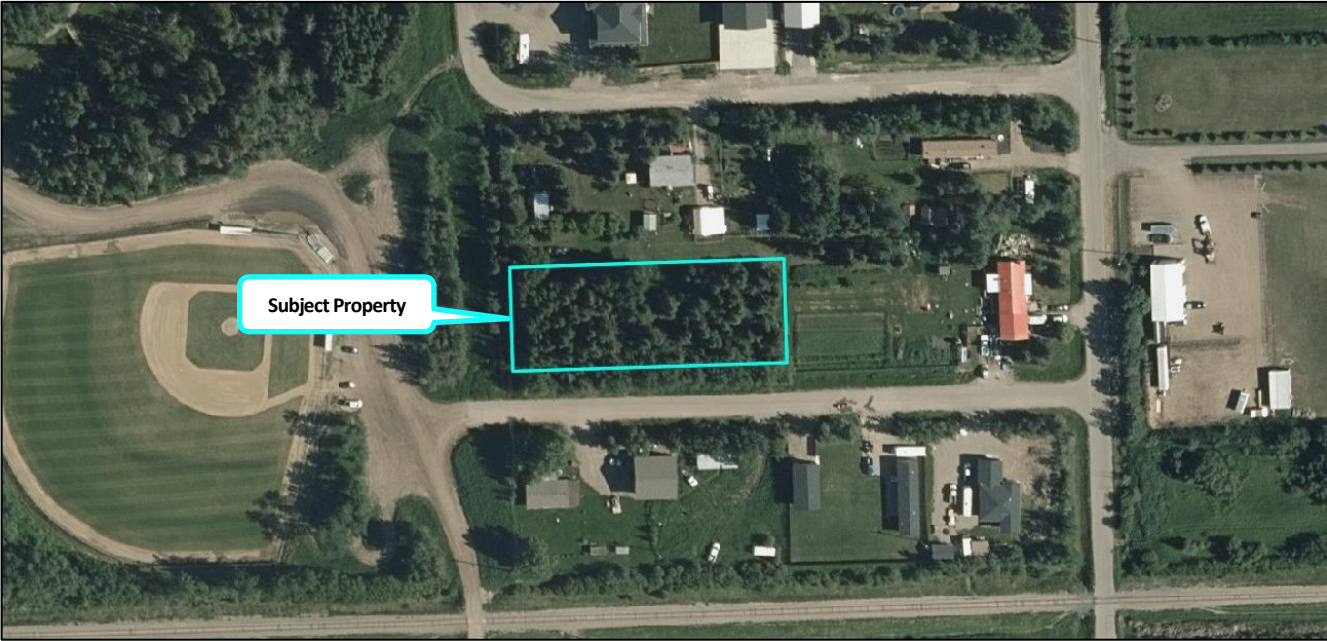
Subject Property



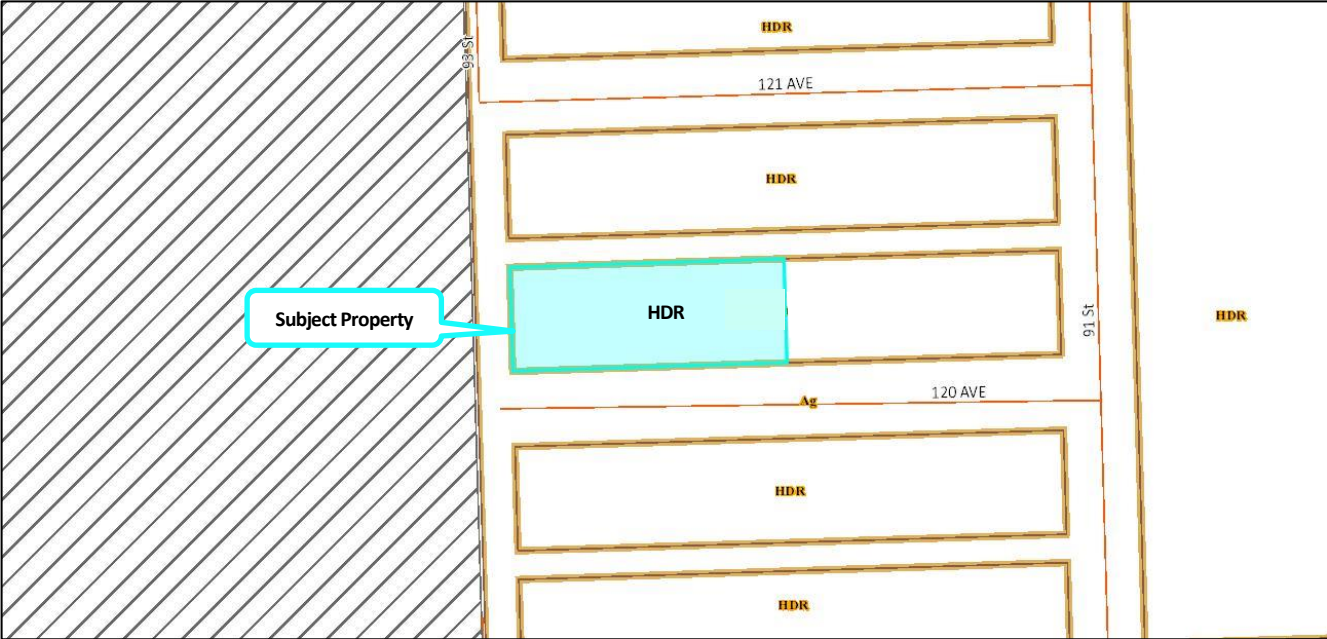
Location: Fort St John



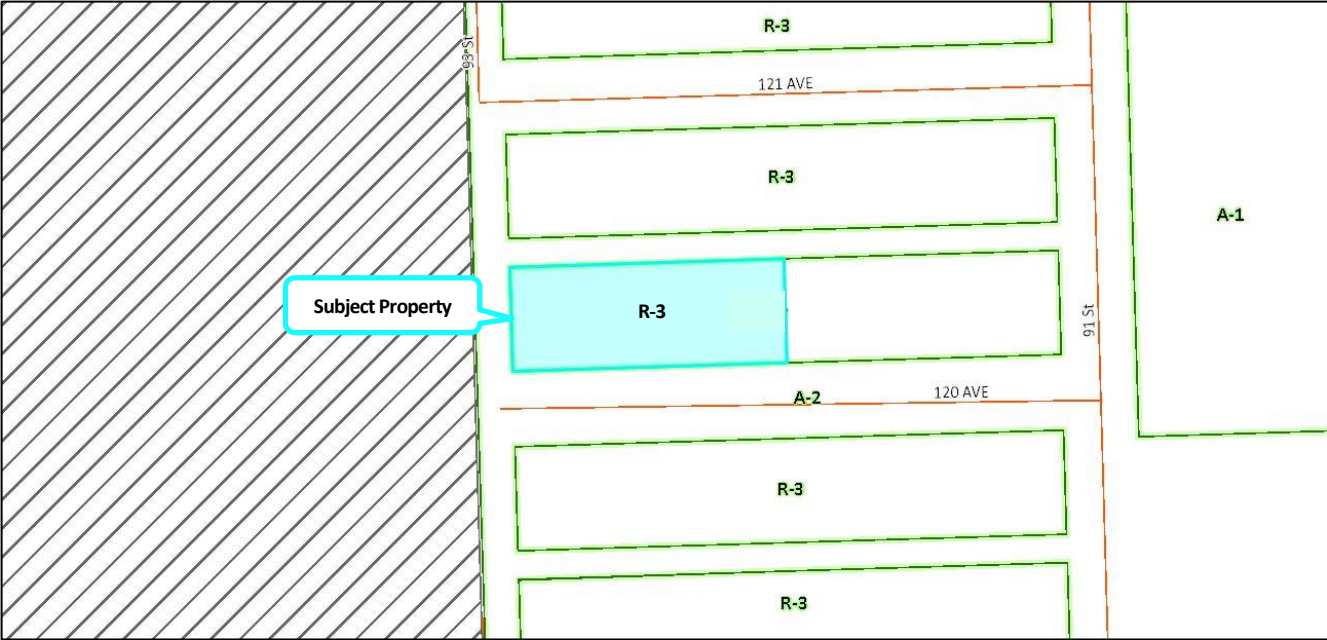
Aerial Imagery



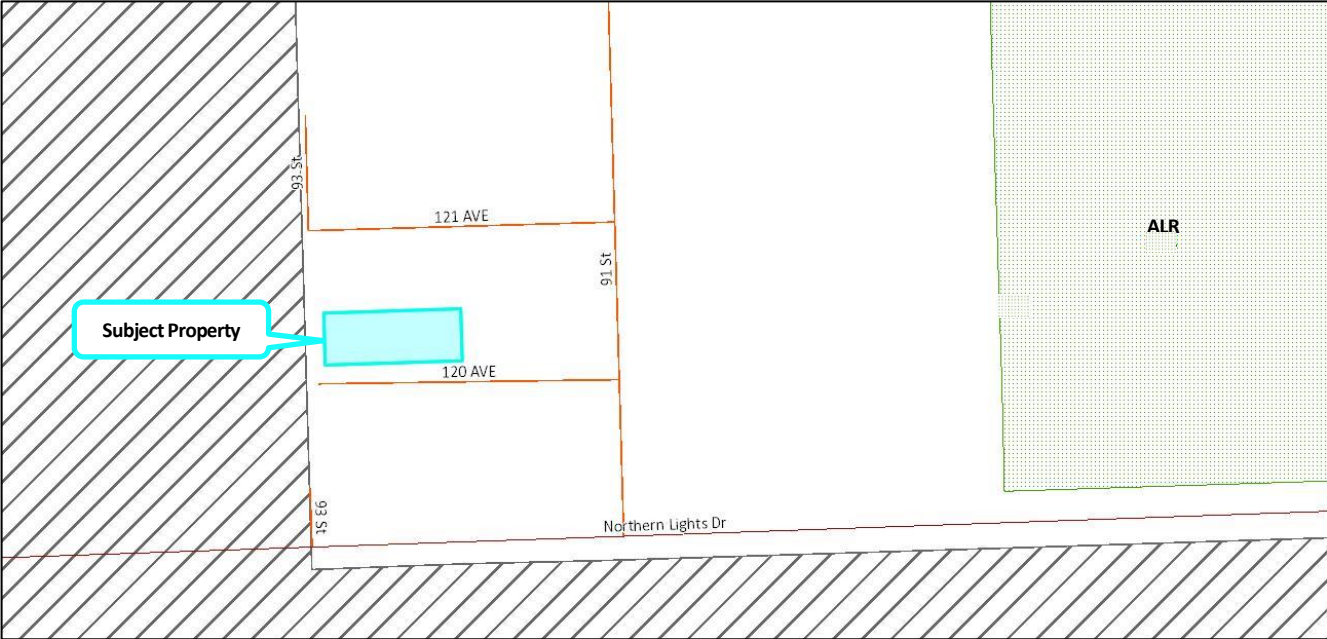
PRRD North Peace Fringe Area OCP Bylaw No. 1870, 2009: High Density Residential (HDR)



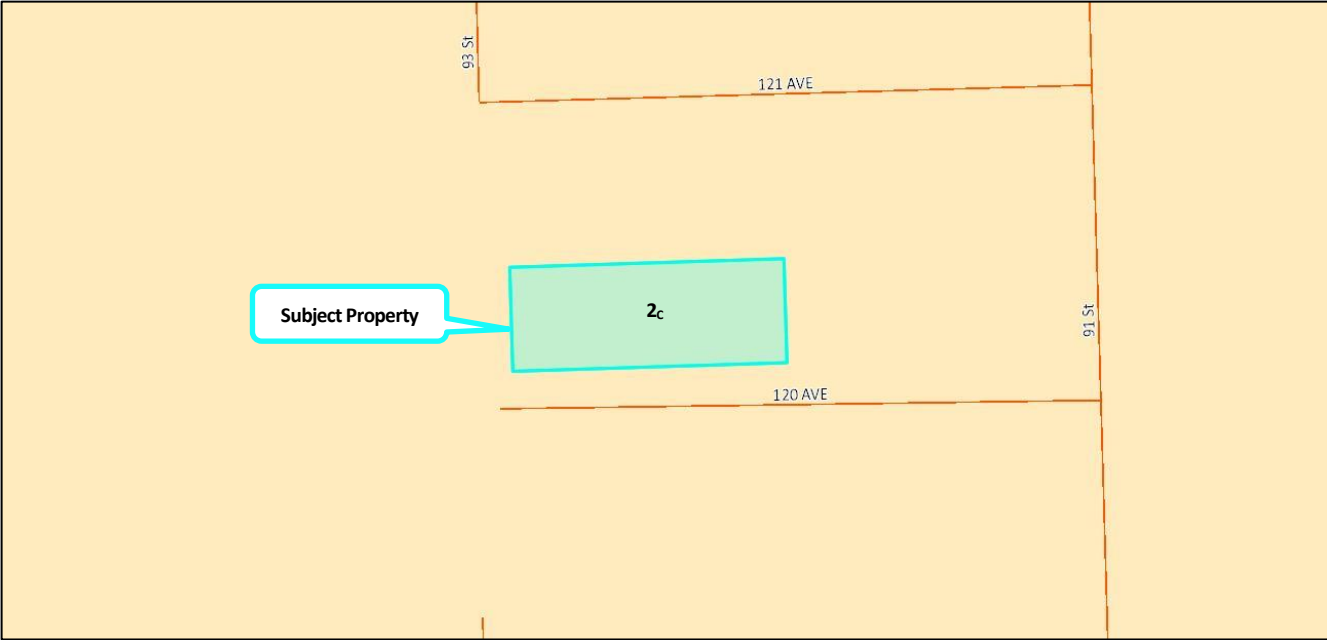
PRRD Zoning Bylaw No. 1343, 2001: R-3 (Residential 3 Zone)



Agricultural Land Reserve: Outside



CLI Soil Classification: 2c





PEACE RIVER REGIONAL DISTRICT

DAWSON CREEK 1981 Alaska Avenue (Box 810), Dawson Creek, BC (T) 250-784-3200..(F) 250-784-3201
 FORT ST. JOHN 9505 100TH Street, Fort St. John, BC V1J 4N4 (T) 250-785-8084 (F) 250-785-1125
 [Toll Free: 1-800-670-7773]

Receipt # 7799Application for Development**1. TYPE OF APPLICATION**

	FEE
<input type="checkbox"/> Official Community Plan Bylaw Amendment	\$ 1,000.00
<input type="checkbox"/> Zoning Bylaw Amendment	650.00
<input type="checkbox"/> Official Community Plan / Zoning Bylaw Amendment combined	1,050.00
<input type="checkbox"/> Temporary Use Permit	350.00
<input type="checkbox"/> Development Permit	165.00
<input checked="" type="checkbox"/> Development Variance Permit	165.00
<input type="checkbox"/> Sign requirement	150.00

In regard to applications for:

- i) an official community plan and/or zoning bylaw amendment;
- ii) temporary use permit;

Sign provided by the PRRD and sign posted pursuant to Section 8 of Bylaw No. 2165, 2016, attached.

2. PLEASE PRINT

Property Owner's Name Jayson and Kara Strate	Authorized Agent of Owner (if applicable)
Address of Owner [REDACTED]	Address of Agent
City/Town/Village [REDACTED]	City/Town/Village
Postal Code [REDACTED]	Postal Code
Telephone Number: [REDACTED]	Telephone Number:
Fax Number: [REDACTED]	Fax Number:
E-mail: [REDACTED]	E-mail:

3. PROPERTY DESCRIPTION

Full legal description of each property under application	Area of each lot
LOT 1 BLOCK 6 SECTION 7 TOWNSHIP 64 RANGE 18 WEST OF THE 6TH MERIDIAN PEACE RIVER DISTRICT PLAN 8871	.30/.73 ha./acres
	ha./acres
	ha./acres
	TOTAL AREA ha./acres

Notice of collection of personal information:

Personal information on this form is collected for the purpose of processing this application. The personal information is collected under the authority of the *Local Government Act* and the bylaws of the PRRD. Documentation/Information submitted in support of this application can be made available for public inspection pursuant to the *Freedom of Information and Protection of Privacy Act*.

4. Civic Address or location of property: 120 Ave, PID 013-013-742

5. PARTICULARS OF PROPOSED AMENDMENT

Please check the box(es) that apply to your proposal:

Official Community Plan (OCP) Bylaw amendment:

Existing OCP designation: _____

Proposed OCP designation: _____

Text amendment: _____

Zoning Bylaw amendment:

Existing zone: _____

Proposed zone: _____

Text amendment: _____

Development Variance Permit – describe proposed variance request:

Reduce rear yard setback for attached garage from primary building setback to accessory building setback

Temporary Use Permit – describe proposed use:

Development Permit: Bylaw No. _____ Section No. _____

6. Describe the existing use and buildings on the subject property:

Currently vacant, proposed single family house and attached garage.

7. Describe the existing land use and buildings on all lots adjacent to and surrounding the subject property:

(a) North Residential buildings and accessory buildings

(b) East Residential buildings and accessory buildings

(c) South Residential buildings and accessory buildings

(d) West vacant road access easement

8. Describe the proposed development of the subject property. Attach a separate sheet if necessary:

Proposed single family home with attached garage and home office/workshop. See attached site plan and other drawings.

9. Reasons and comments in support of the application. Attach a separate sheet if necessary:

Breezeway connecting garage to house causes garage to be considered part of primary building, which pushes whole building to the south. Given very thick walls and need for solar access as a Passive House, pushing the project up to the accessory building setback will improve the siting and performance of the project.

10. Describe the means of sewage disposal for the development:

Holding tank.

11. Describe the means of water supply for the development:

Holding tank.

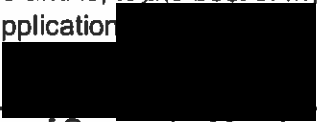
THE FOLLOWING INFORMATION IS REQUIRED. FAILURE TO PROVIDE MAY DELAY YOUR APPLICATION.

12. Proof of ownership of the subject property or properties. (For example: Certificate of State of Title, BC Land Title Office Property Title Search or recent Property Tax Notice.)
13. A Sketch Plan of the subject property or properties, showing:
 - (a) the legal boundaries and dimensions of the subject property;
 - (b) boundaries, dimensions and area of any proposed lots (if subdivision is being proposed);
 - (c) the location of existing buildings and structures on the subject property, with distances to property lines;
 - (d) the location of any proposed buildings, structures, or additions thereto, with distances to property lines;
 - (e) the location of any existing sewage disposal systems;
 - (f) the location of any existing or proposed water source.

ADDITIONAL OR MORE DETAILED INFORMATION MAY BE REQUESTED BY THE PEACE RIVER REGIONAL DISTRICT FOLLOWING REVIEW OF YOUR APPLICATION.

If it is necessary for the property boundaries and the location of buildings and structures to be more accurately defined, a plan prepared by a British Columbia Land Surveyor may be required.

15. I / We the undersigned hereby declare that the information provided in this application is complete and is, to the best of my / our knowledge, a true statement of the facts related to this application



 Signature of Owner

16 Jan 2020
 Date signed





 Signature of Owner

Jan 16 2020
 Date signed

16. **AGENT'S AUTHORIZATION**

If you have an agent act on your behalf in submission of this application, the following authorization **MUST** be signed by **ALL** property owners.

I / We	and	hereby
authorize		
(name)		to act on my/our behalf regarding this
application.		
Agent address:		
Telephone:	Fax:	Email:
Signature of Owner:		Date:
Signature of Owner:		Date:

GENERAL NOTES

- All work to be completed in accordance with the Building Act and the Building Code of Canada, local bylaws, and in accordance with all other applicable codes, bylaws, and other legal requirements.
- All general, structural, and detail drawings, etc., shall be prepared as part of the specifications for the building and shall be provided to the contractor at the time of construction. The contractor shall be responsible for ensuring that all drawings are complete and correct.
- The builder is to check and verify all drawings for accuracy and consistency with the approved plans and specifications and report any discrepancies prior to commencing construction.
- Structural timber is to be No. 2 SPF or better, or Douglas Fir-Larch, or a combination of the two, unless otherwise specified. All structural members, including floor joists, roof trusses, beams, columns, and walls, to be by the same species and grade.
- This drawing does not take into account unknown site conditions such as soil bearing capacity, water table, etc. The contractor shall be responsible for verifying all site conditions and reporting any discrepancies prior to commencing construction.
- Remove all materials, debris, and construction waste from the site at the end of construction.
- Site work shall be completed in accordance with the approved plans and specifications.
- Structural engineering is required, by others.

Passive Design Solutions

Designs and drawings are the exclusive copyright of PDS. The drawings cannot be reproduced, modified, reused, published, presented or shared in any part or whole without written consent from PDS. Purchase of a plan set from PDS, provides a non-exclusive right to build a single home. Building more than one home is an infringement of the Copyright Act.

Client Name

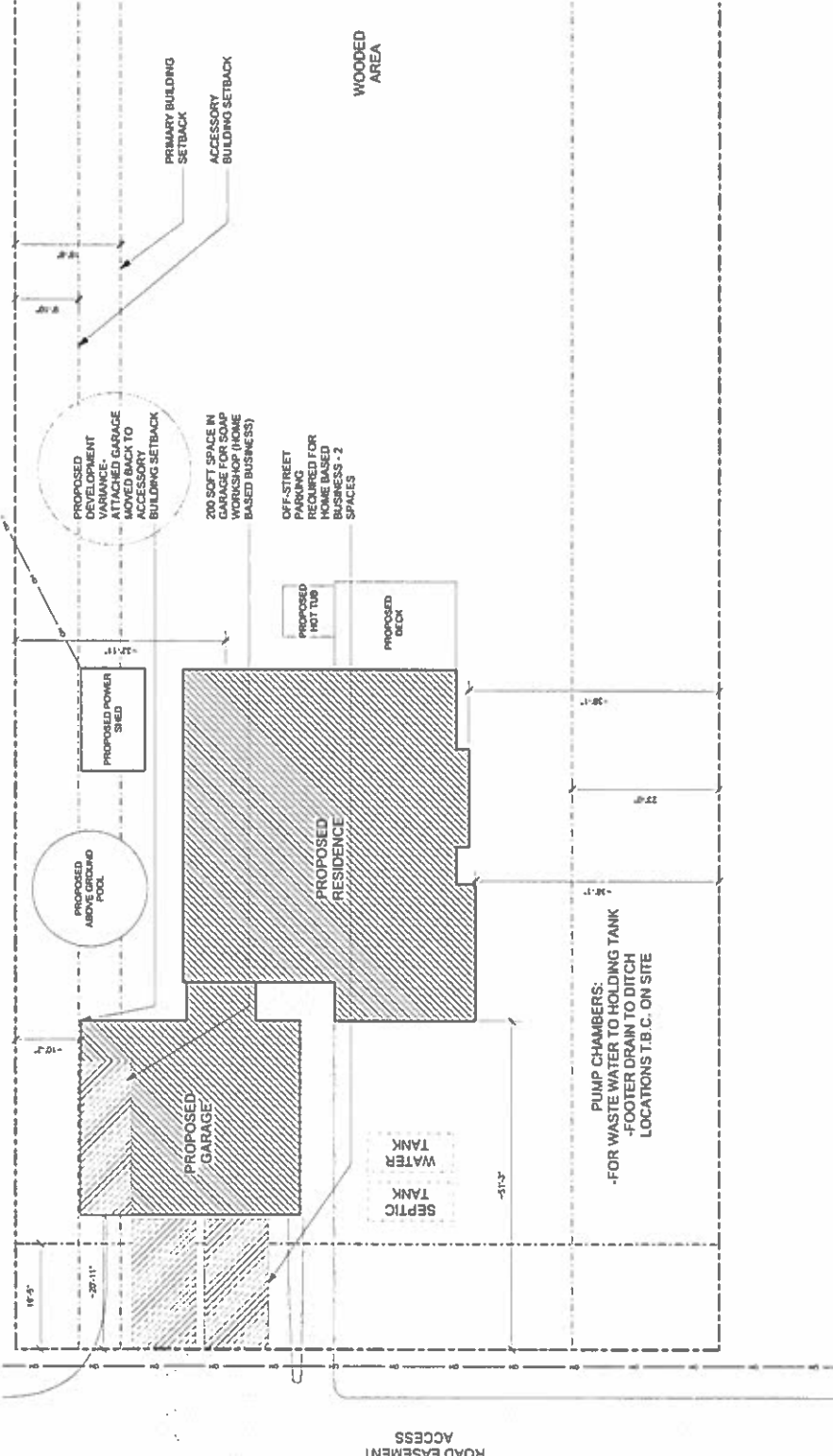
STRATE RESIDENCE
120 Ave., Fort St. John, BC, Canada

DEVELOPMENT VARIANCE APPLICATION FOR REVIEW
NOT FOR CONSTRUCTION

2020 Jan 16

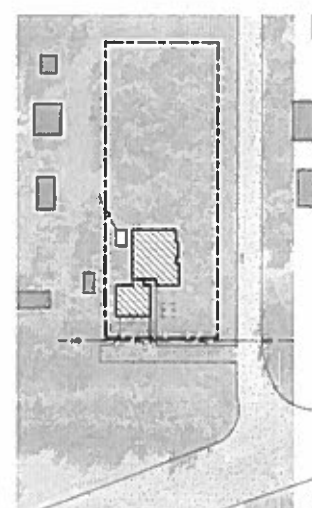
Site Plan

Drawn By: JP	Checked By: XX
A101	N



120 AVE

1 SITE PLAN
SCALE: 1:150



2 SITE KEY PLAN
SCALE: 1:1000

SITE NOTES

- The drawing of this site plan was prepared by the client, Passive Design Solutions, and the client is responsible for ensuring that the information provided is accurate and complete.
- The builder is responsible to check and verify all dimensions on this plan for compliance with local building and zoning requirements, and report any discrepancies prior to commencing construction.
- This drawing of this site plan does not take into account site conditions such as soil bearing capacity, water table, depth of bedrock, hard structures, local grading, etc.
- Landscaping must ensure positive drainage of storm water from around the building. A minimum slope of 1% away from the building is required for the first 30 feet. All other finished grades are to be minimum 2% and maximum 3%.
- Materials to be used for driveway paving to be approved by the local authority at the time of construction.

SITE INFORMATION

SITE LOCATION: 120 Ave., Fort St. John, BC, Canada (Please Print Nearest District)

PROJ: 2019-015-142

LOT AREA	AREA (SQ.M)
FOOTPRINT	AREA (SQ.FT)
GROSS LIVING AREA	AREA (SQ.FT)
GARAGE/OUTBUILDINGS	AREA (SQ.FT)
	AREA (SQ.FT)

GENERAL NOTES

1. All work is, at a minimum, to be completed in accordance with the applicable code, standards, and best practices, and in accordance with all other applicable codes, bylaws, and other legal requirements.
2. All finished, finished, and local materials, etc., shall be completed as part of the specifications for the building and shall include procurement and availability information, or explicit, if any, when materials occur.
3. The Builder is to check and verify all drawings for compliance with local building and zoning requirements. If any discrepancies occur in connection with construction.
4. Structural Lumber is to be No. 2 SPF or better, or other approved lumber species, and shall be milled, cut, and delivered to the project site.
5. Design and engineering of manufactured wood structural members, including floor joists, roof trusses, beams, columns, and studs, to be by a professional engineer.
6. This drawing does not take into account unknown site conditions such as soil bearing capacity, water table level, or other site conditions. The Engineer shall verify all site conditions and provide the results from their site investigation report and items to be verified by the Owner to be included in the contract documents.
7. Structural engineering is required by others.

Passive Design Solutions

Designs and drawings are the exclusive copyright of PDS. The drawings cannot be reproduced, modified, reused, published, printed, or shared in any part or whole without written consent from PDS. Purchase of a plan set from PDS, provides a non-exclusive right to build a single home. Building more than one home is an infringement of the Copyright Act.

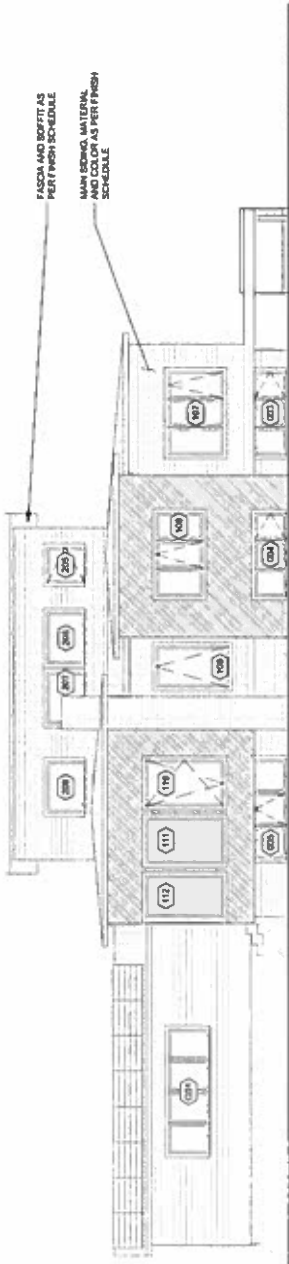
Client Name
STRATE RESIDENCE
 120 Ave., Fort St John, BC, Canada

DEVELOPMENT VARIANCE APPLICATION ISSUED FOR REVIEW *NOT FOR CONSTRUCTION*

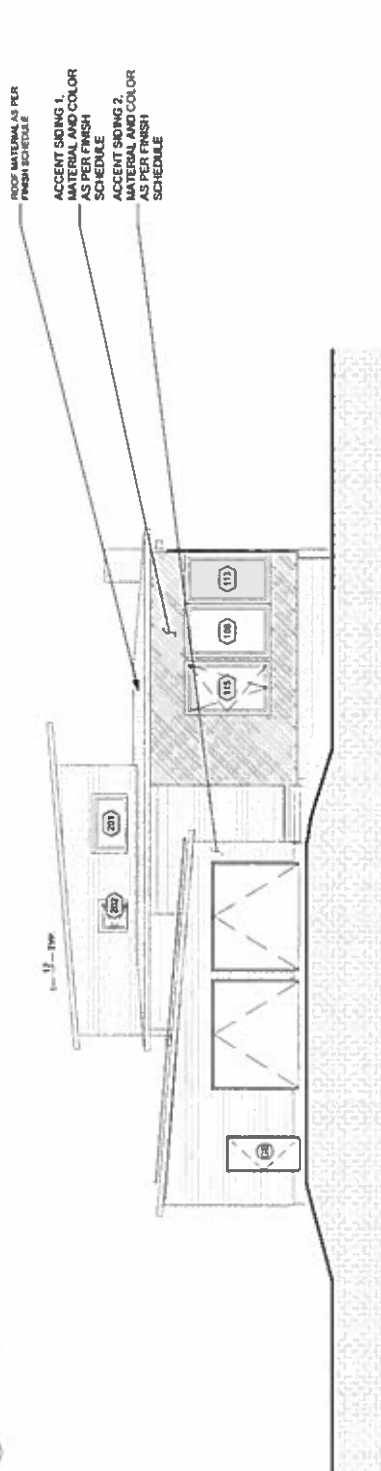
2020 Jan 16

Elevations

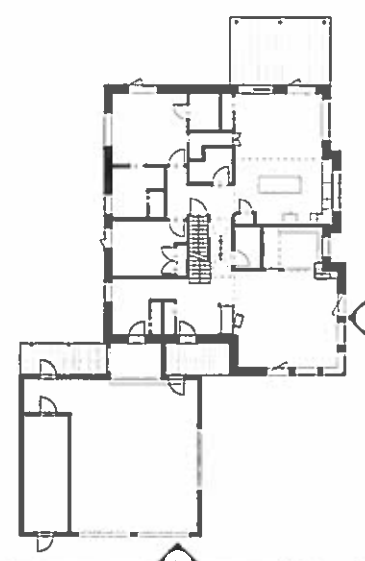
Drawn By: XX Checked By: XX
A201



1 SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"



2 WEST ELEVATION
 SCALE: 1/8" = 1'-0"



5 ELEVATION KEY PLAN

EXTERIOR FINISH SCHEDULE

All finish to be dimensional to size

Item	Temp	Finish
Facade	1/8" x 4"	Semi-gloss latex paint
Floor	1/8" x 4"	White tile
Roof	1/8" x 4"	Asph/Flt
Trim	1/8" x 4"	White paint
Roof Deck	1/8" x 4"	Asph/Flt
Roof Joists	1/8" x 4"	Asph/Flt
Roof Trusses	1/8" x 4"	Asph/Flt
Roof Siding	1/8" x 4"	Asph/Flt
Roof Deck	1/8" x 4"	Asph/Flt
Roof Deck	1/8" x 4"	Asph/Flt
Roof Deck	1/8" x 4"	Asph/Flt
Roof Deck	1/8" x 4"	Asph/Flt
Roof Deck	1/8" x 4"	Asph/Flt
Roof Deck	1/8" x 4"	Asph/Flt
Roof Deck	1/8" x 4"	Asph/Flt
Roof Deck	1/8" x 4"	Asph/Flt
Roof Deck	1/8" x 4"	Asph/Flt
Roof Deck	1/8" x 4"	Asph/Flt
Roof Deck	1/8" x 4"	Asph/Flt
Roof Deck	1/8" x 4"	Asph/Flt

ELEVATION NOTES

1. All window, door, and colors to be confirmed by Owner.
2. See general notes for general and verify all from the actual field photos.
3. Foundation and downspouts not shown, install where required.
4. Roof nails & plumbing blocks not shown, install where required.
5. If possible, do not spray water down up through south-facing roof to test for leaks.
6. Dryer vent, range hood vent, & high exhaust vents not used, electric, vent to outside.
7. Color of exterior panels & vent hoods to match siding, or otherwise.
8. Solid panel soffits are to be minimum 1" below the adjacent inside floor level.
9. See Window & Door Schedule for window & door head & sill heights, and details.
10. All dimensions are to have windows that meet Code for glass requirements.
11. All dimensions are to have windows that meet Code for glass requirements.
12. Screens colors not shown in elevation.

GENERAL NOTES

- All work is to be completed in accordance with the BC Building Code, Canadian Building Code, and all applicable codes, bylaws, and other regulations.
- All structural, mechanical, and electrical work shall be completed in accordance with the specifications for the building and shall take precedence over other specifications, in respect of any work within the scope.
- The builder is to check and verify all drawings for compliance with the BC Building Code, and any other applicable codes, regulations, and requirements and report any discrepancies prior to commencing construction.
- Structural lumber is to be No. 2 SPF or better, or equivalent, unless otherwise specified.
- Design and engineering of manufactured steel structural elements, including floor joists, roof members, beams, columns, and truss, is to be by a registered structural engineer.
- The drawing does not take into account unknown site conditions such as soil bearing capacity, water table, or other site-specific conditions.
- Review all manufacturer data and communication with the site working material and items specifically noted by the Designer to be full on the ground and verify all items before the ground is complete.
- Standard engineering is required by others.

© Passive Design Solutions

Designs and drawings are the exclusive copyright of PDS. The drawings cannot be reproduced, modified, copied, published, presented or shared in any part or whole without written consent from PDS. Purposes of a plan set from PDS, provides a non-exclusive right to build a single home. Building more than one home is an infringement of the Copyright Act.

Client Name

STRATE RESIDENCE

120 Ave., Fort St John, BC, Canada

DEVELOPMENT VARIANCE APPLICATION FOR REVIEW

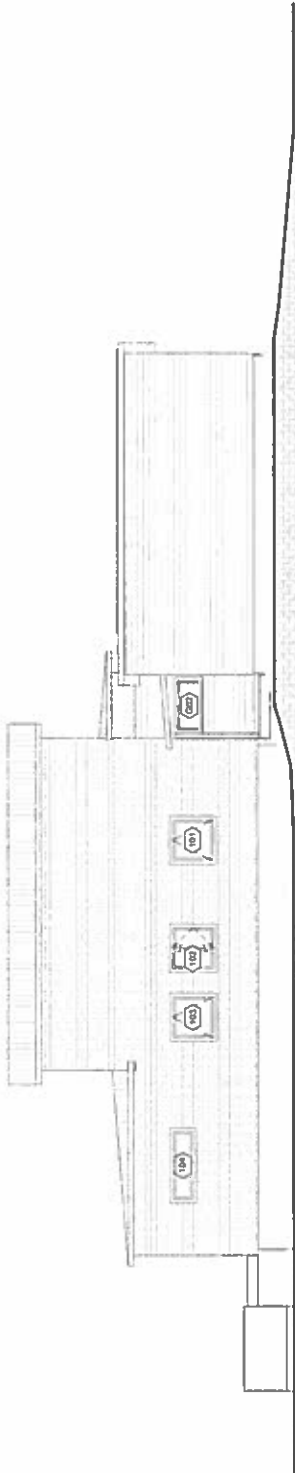
NOT FOR CONSTRUCTION

2020 Jan 16

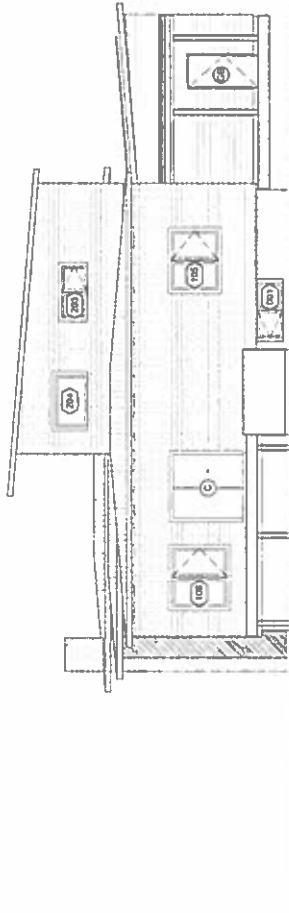
Elevations

Drawn By: XX Checked By: XX

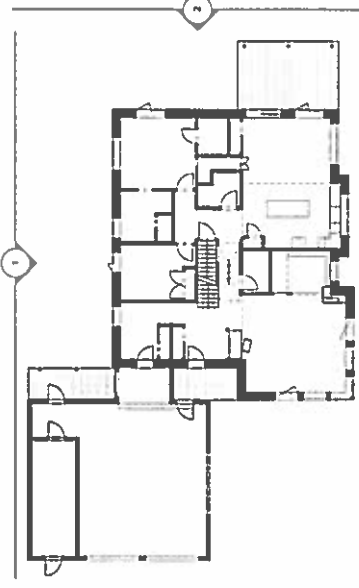
A202



1 **NORTH ELEVATION**
SCALE: 1/8" = 1'-0"



2 **EAST ELEVATION**
SCALE: 1/8" = 1'-0"



5 **ELEVATION KEY PLAN**

EXTERIOR FINISH SCHEDULE

All designs are to be completed in respect

Item	Notes	Finish
Roofing	Shedding system 2-weld	1.9 G
Exterior Wall	4" CMU	1.8 E
Interior Wall	1/2" Gypsum Board	1.8 E
Flooring	1" x 6" S.P.F.	1.9 B
Decking	2" x 4" S.P.F.	1.9 B
Trim	1" x 4" S.P.F.	1.9 B
Paint	Exterior Paint	1.8 E
Paint	Interior Paint	1.8 E
Paint	Decking Paint	1.9 B
Paint	Staircase Paint	1.8 E
Paint	Front Porch	1.8 E
Paint	Back Porch	1.8 E
Paint	Shed Deck	1.9 B

- ELEVATION NOTES**
- All exterior trim, finishes, and colours to be confirmed by Owner.
 - Site grades shown are generic and may differ from the actual field grades for the project.
 - Foundation and drainage to be shown. Details subject to approval.
 - Roof work to be shown. Decking to be shown. Decking to be shown 1 x 6 @ 16" O.C.
 - It is noted that all framing must be 2x4 minimum.
 - Additional water proofing to be shown.
 - Color of exterior trim to be confirmed by Owner.
 - Color of exterior trim to be confirmed by Owner.
 - Deck surface to be 2x6 minimum 1" below the adjacent finish floor level.
 - Finish surfaces to be 2x4 minimum 1" below the adjacent finish floor level.
 - 1" below the adjacent finish floor level.
 - 1" below the adjacent finish floor level.
 - All footings are to have a minimum depth as noted.
 - Screen doors not shown in elevation.



BYLAW AMENDMENT
REFERRAL FORM

Peace River Regional District
Box 810, 1981 Alaska Avenue,
Dawson Creek, B.C. V1G 4H8
Telephone: (250) 784-3200
Fax: (250) 784-3201

	RESPONSE SUMMARY	Development Variance Permit #20-001
<input type="checkbox"/> Approval recommended for reasons outlined below	<input checked="" type="checkbox"/> Interests unaffected by bylaw	
<input type="checkbox"/> Approval recommended subject to conditions below	<input type="checkbox"/> Approval NOT recommended due to reasons outlined below	

- No comments.

Signed: 	Title: <i>Planning Manager</i>
Date: <i>March 4, 2020</i>	Agency: <i>City of Fort St. John.</i>



Ministry of
Transportation
and Infrastructure

Our file: 2020-00887
Your file: 20-001 DVP
Date: February 25, 2020

Peace River Regional District
PO Box 810
1981 Alaska Avenue
Dawson Creek, BC V1G 4H8

Attn: Jessica Russell – Junior Planner

The Ministry of Transportation and Infrastructure has received and reviewed your referral dated February 19, 2020 to reduce the rear yard setback from 5 metres to 3 metres for the proposed principal structure. Section 505 of the Local Government Act does not apply and will not require Ministry of Transportation and Infrastructure formal approval.

The Ministry has no objections to the development variance permit.

Thank you for the opportunity to comment. If you or the proponent has any questions, please contact me at (250) 787-3237.

Sincerely,



Raj Chopra – District Development Technician

24 February, 2020

Jessica Russell | Junior Planner
Peace River Regional District

RE: Application for development variance (Permit #20-00)- Lot 1 Block 6 Section 7 Township 84 Range 18 W6M Peace River District Plan 8871

I have reviewed the application for a development variance to reduce the rear yard setback from 5 metres to 3 metres for the proposed principal structure (Single family home with attached garage and home/office workshop).

Based on the intent of the proposal, Northern Health has no objections, subject to the following conditions:

- As per the Public Health Act [SBC 2008] Ch. 28, the proponent must not cause a health hazard during any demolition or construction activities.
- The proposed “Single family home with attached garage and home/office workshop” must be connected to permitted sewer and drinking water systems as per the requirements of Drinking Water System Protection Act and regulation made under it and Sewerage System Regulations.
- The applicant must apply and obtain permit (s) for Drinking Water System (s) if building own water system other than the City of Fort St John.
- The applicant must apply and obtain permit (s) or approval from Northern Health if the home/office is meant for opening home based businesses such as Personal Services (eg. Massage; Pedicure Manicure, etc.) and preparation and sale of food.

Please do not hesitate to contact me if you have any questions at 250-719-6500 or seyoum.gebeyehu@northernhealth.ca.

Sincerely



Seyoum Gebeyehu, BSc, MSc, BAsC, MPH, CPHI (C)
Environmental Health Officer,
Health Protection and Disease Prevention,
Northern Health



PEACE RIVER REGIONAL DISTRICT DEVELOPMENT VARIANCE PERMIT NO. 20-001

Issued to: Jayson and Kara Strate

8935 1118A Ave
Fort St John, BC
V1J 6H5

1. Property affected: Lot 1 Block 6 Section 7 Township 84 Range 18 W6M Peace River District Plan 8871
2. Official Community Plan: *PRRD North Peace Fringe Area Official Community Plan Bylaw No. 1870, 2009; High Density Residential (HDR)*
3. Zoning Bylaw: *PRRD Zoning Bylaw No. 1343, 2001; R-3 (Residential 3 Zone)*
4. This Development Variance Permit is issued subject to compliance with all of the bylaws of the Regional District applicable thereto, except as specifically varied or supplemented by this Permit. The provisions of this Development Variance Permit shall prevail over any other provisions of the bylaws in the event of a conflict.
5. This Development Variance Permit allows a reduction in the minimum rear lot setback for a primary dwelling in the R-3 zone from 5.0 metres to 3.0 metres for the property legally described as Lot 1 Block 6 Section 7 Township 84 Range 18 W6M Peace River District Plan 8871, as shown in Schedule A of this permit.
6. The land described herein, shall be developed strictly in accordance with the terms, conditions and provisions of this permit and any plans and specifications attached to this Permit which shall form a part thereof.
7. This Permit is **NOT** a building permit.

ISSUED THIS _____ day of _____, 20____.

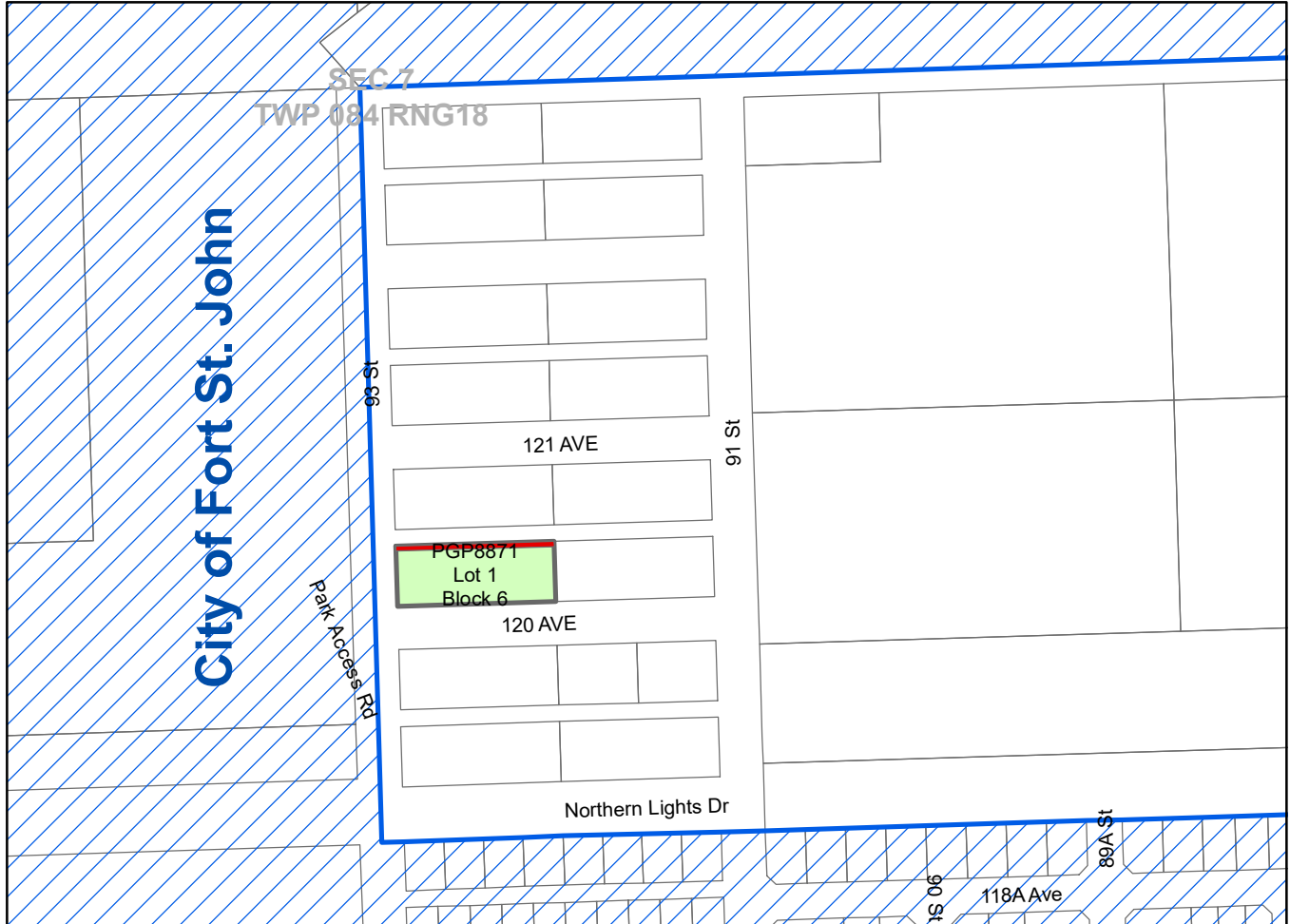
This permit is authorized by Peace River Regional District Board Resolution No.
passed on the _____ day of _____, 20____.

Authorized Signatory

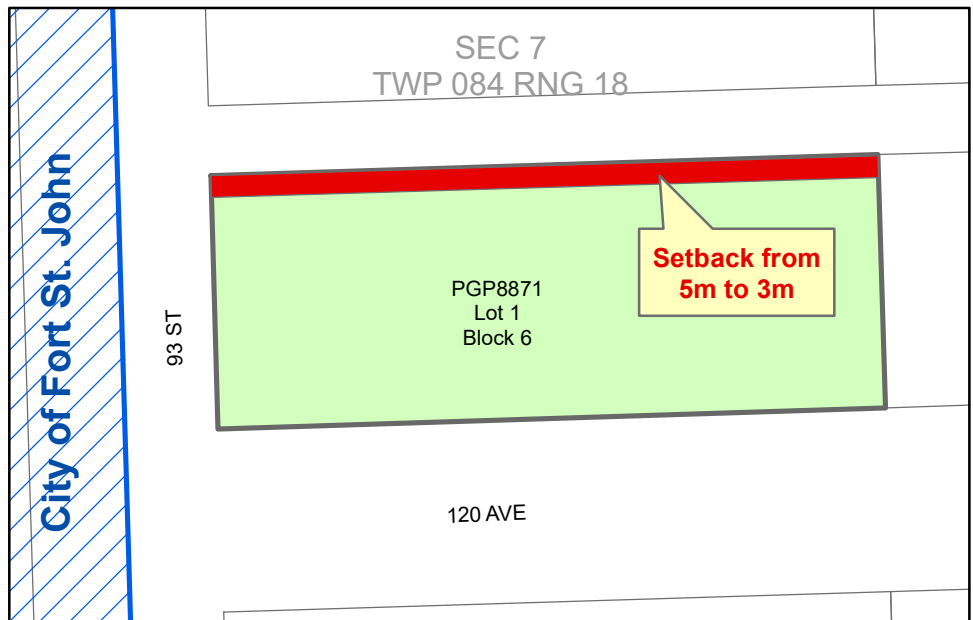
Schedule A is attached to and forms part of this Development Variance Permit.



Peace River Regional District
SCHEDULE "A"
 Development Variance Permit
 No. 20-001



Detail Map



Legend

- Setback
- Subject Property
- City of Fort St. John
- Parcels